

**SPECIAL MEETING MINUTES**  
**BOATHOUSE/HAINS PARK IMPROVEMENTS COMMITTEE**  
7:30 p.m., TOWN MEETING HALL, OLD LYME TOWN HALL

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PRESENT

<b>PG</b>	Paul Gianquinto	Co-Chairman
<b>PF</b>	Paul Fuchs	Co-Chairman
<b>GH</b>	Greg Hack	
<b>DB</b>	Don Bugbee	
<b>SS</b>	Skip Sibley	Ex- Officio

ABSENT

<b>BS</b>	Brian Schuch	Secretary
<b>RD</b>	Bob Dunn	
<b>BR</b>	Bonnie A. Reemsnyder	Ex-Officio
<b>AR</b>	Andy Russell	Ex-Officio
<b>JR</b>	John Rhodes	Ex-Officio

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**CALL TO ORDER> PG 7:30 p.m.**

1. CORRESPONDENCE

None.

2. FINANCIAL REPORT

**PG** distributed the 21 Sep 17 cost report (attached) updated to show the cost for the basketball court sealing and lining.

3. OLD BUSINESS

**a. Boathouse Status**

- i. **Security** - **PF** and **GH** reported that Region 18 plans to transition to a card reader access control system to eliminate the use of keys.
- ii. **Landscaping** – **SS** stated the Committee should investigate having a third party complete the landscaping since Scope has not completed the work and Sep is the best time to plant grass. **DB** suggested calling the company that takes care of Town Woods Park; **PG** will solicit pricing and discuss with Scope.
- iii. **Final Punch List** – **PG** and **PF** walked through the building and generated the final punch list (attached), which was forwarded to Scope Construction; an on-site meeting with Scope will be scheduled for the week of 25 Sep.

**b. Toilet Building Improvements** – **PG** reported the Selectmen advertised for volunteers to serve on a Toilet Building Facility Improvements Committee, but no Town residents responded. **DB** confirmed that P&R will handle the toilet building improvements themselves. **SS** confirmed the BHPIC has no further responsibility for the toilet building improvements.

**c. Basketball Court Sealing** – The work was completed and has been inspected by **DB** and **PG**; payment for the work was authorized.

**d. Site Drainage Improvements** – **PG** met with Phil Parcak (Town Facility Manager) and Tom Metcalf, P.E. (Town Engineer) on site on 14 Sep to review the proposed drainage modifications. Tom suggested some revisions, which have been incorporated into the sketch, attached.

**e. Fence Relocation and As-Built Survey**

**Motion**> **PF (PF)** To authorize expenditure of \$1,220.00 to have BSG Group stake out the boundary between Hains Park and 1 Town Woods Road, and to revise the Park existing conditions plan to show the new Boathouse per their proposal dated 18 Sep 17.

**Discussion:** **DB** and **SS** asked if the property line was surveyed when the A2 survey was done during design; **PG** stated the existing monuments/iron pins were shown, and the calculated corners shown, but the calculated corners were not staked out as part of that survey work.

**Motion approved 4-0-0.**

**f. Region 18/OLRA Agreement** – **GH** reported that a great deal of time and effort had been spent developing the agreement and that many of the procedures used informally for years had been formally captured in the document. He stated it will be very useful in the future when current Region 18 and OLRA personnel are no longer involved in administering the LOL and masters rowing programs.

4. APPROVAL OF MINUTES

**Motion**> **PG (GH)** To approve the minutes of the 10 Aug 17 Regular Meeting as submitted.

**Discussion:** None

**Motion approved 4-0-0.**

6. PUBLIC COMMENTS

None.

7. ADJOURNMENT

**Motion**> **PF(GH)** To adjourn at 8:30 p.m.

**Motion approved 4-0-0.**

Hains Park Boathouse Project Cost Report

Category	Through 18 May 17	Estimate to Complete	Total
Septic Inspection	\$ 420	\$ -	\$ 420
NCP Architects/BSC Group	\$ 69,163	\$ 1,100	\$ 70,263
A2/T2 Survey	\$ 6,000	\$ -	\$ 6,000
Estimator	\$ 5,806	\$ -	\$ 5,806
Legal Review of Bid Docs	\$ 2,804	\$ -	\$ 2,804
Legal Ads	\$ 1,264	\$ -	\$ 1,264
Printing & Postage	\$ 1,462	\$ -	\$ 1,462
Docks	\$ 40,718	\$ -	\$ 40,718
Boat Racks	\$ 39,100	\$ -	\$ 39,100
Construction Contract	\$ 587,000	\$ -	\$ 587,000
Contingency	\$ -	\$ -	\$ -
Storage Containers	\$ 1,896	\$ -	\$ 1,896
Pre-Demo Survey	\$ 760	\$ -	\$ 760
Testing Agency	\$ 3,398	\$ -	\$ 3,398
Surveyor's Certification	\$ 1,250	\$ -	\$ 1,250
Certified Payroll Review	\$ -	\$ 1,800	\$ 1,800
Plaque	\$ -	\$ -	\$ -
Fire Extinguishers	\$ 500	\$ -	\$ 500
Room Signage	\$ 800	\$ -	\$ 800
Miscellaneous Material	\$ 760	\$ -	\$ 760
<b>Subtotals</b>	\$ 763,101	\$ 2,900	\$ 766,001

**Bold = Final Cost**

Changes Identified Through 21 Jul 17			
PCO	Description	Est/Proposed	Final
1	Demo Existing Foundations and Provide New	\$ 103,632.86	\$ 103,632.86
2	Increase Columns to 5" Schedule 40	\$ 12,247.73	\$ 3,296.57
3	Delete Cupolas	\$ (5,896.58)	\$ (5,896.58)
4	Delete SW6A, SW6B and SW6C	\$ (843.19)	\$ (843.19)
5	Provide TerraTame 2 Turf Reinforcement	\$ 8,777.28	\$ -
6	Reduce Hardware at Door 102	\$ (329.60)	\$ -
7	Modify SW7 Framing	\$ 8,522.63	\$ 7,385.75
8	Drainage Modifications	\$ 11,138.47	\$ 11,138.47
9	Added 2-Line Truss	\$ 2,867.20	\$ 2,105.99
10	Electrical Service Handhole	\$ 4,052.92	\$ 2,161.62
11	Temporary Heat	\$ -	\$ -
12	Emergency Lighting & Battery Back-up	\$ 2,733.53	\$ 2,733.53
13	Revisions to Fire Alarm System	\$ 1,507.00	\$ 1,507.00
		\$ 148,410.25	\$ 127,222.02

Project Funding Sources	
STEAP Grant	\$ 478,000
Town Appropriation	\$ 405,100
2014 Donations	\$ 51,800
<b>Total</b>	\$ 934,900

Summary	
Phase 1 Design & Soft Costs	\$ 83,749
Docks	\$ 40,718
Boat Rack System	\$ 39,100
Construction Contract	\$ 587,000
Change Orders Approved/Anticipated	\$ 127,222
Contingency Items	
Surveys	\$ 2,010
Testing	\$ 3,398
Storage Containers	\$ 1,896
Certified Payroll Review	\$ 1,800
Plaque	\$ -
Fire Extinguishers	\$ 500
Room Signage	\$ 800
Miscellaneous Material	\$ 760
Basketball Court Sealing and Lines	\$ 4,967
<b>Total Anticipated Boathouse Costs</b>	\$ 893,920
Current Project Funding	\$ 934,900
Less Boathouse Costs	\$ (893,920)
Less Phase 2 Expenditures	\$ (4,270)
<b>Current Funding Available for Toilet Building</b>	\$ 36,710
<b>New Donations for Park Improvements (Est)</b>	\$ 50,000
<b>Total Available for Phase 2</b>	\$ 86,710

## Gianquinto, Paul A.

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**From:** Gianquinto, Paul A.  
**Sent:** Monday, September 18, 2017 1:21 PM  
**To:** John Tracey (JTracey@ScopeConstruction.com); Jamie Fox (JFox@ScopeConstruction.com)  
**Cc:** Fuchs, Paul; Hack, Greg; Reemsnyder, Bonnie  
**Subject:** Hains Park Boathouse Issues  
**Attachments:** Roller Bolts.pdf; Door Paint.pdf; Bituminous.pdf; Grass at Court.pdf

John,

We walked the project last Friday and found a few issues:

1. Barn Doors

- a. The roller hardware is loose on two or three door panels, and two pair are not hanging plumb so there is an uneven gap where they meet.
- b. The hex heads on the inside of the roller hardware bolts catch the vinyl trim at the door edge; the bolts should be changed to carriage bolts.
- c. One door guide is broken.

2. Man Doors

- a. Several doors need another coat of paint because the primer is still showing through.
- b. The aluminum thresholds were never properly sealed on the outside with silicone.

3. Site and Turf

- a. Silt fence needs to be removed near D7.
- b. Edge of bituminous walk near D7 unsupported; needs material added adjacent to walk.
- c. Bituminous adjacent to basketball court needs to be sawcut and removed.
- d. Reinforce turf area needs additional topsoil and raking to even out surface and cover exposed reinforcement.
- e. Eroded area along east edge of paved drive needs additional topsoil .
- f. Area around basketball court needs to be raked to remove stones.
- g. Many grass areas still haven't germinated or have primarily weeds.
- h. Water can't run into drainage structure at SW corner of boathouse due to erosion around cover.

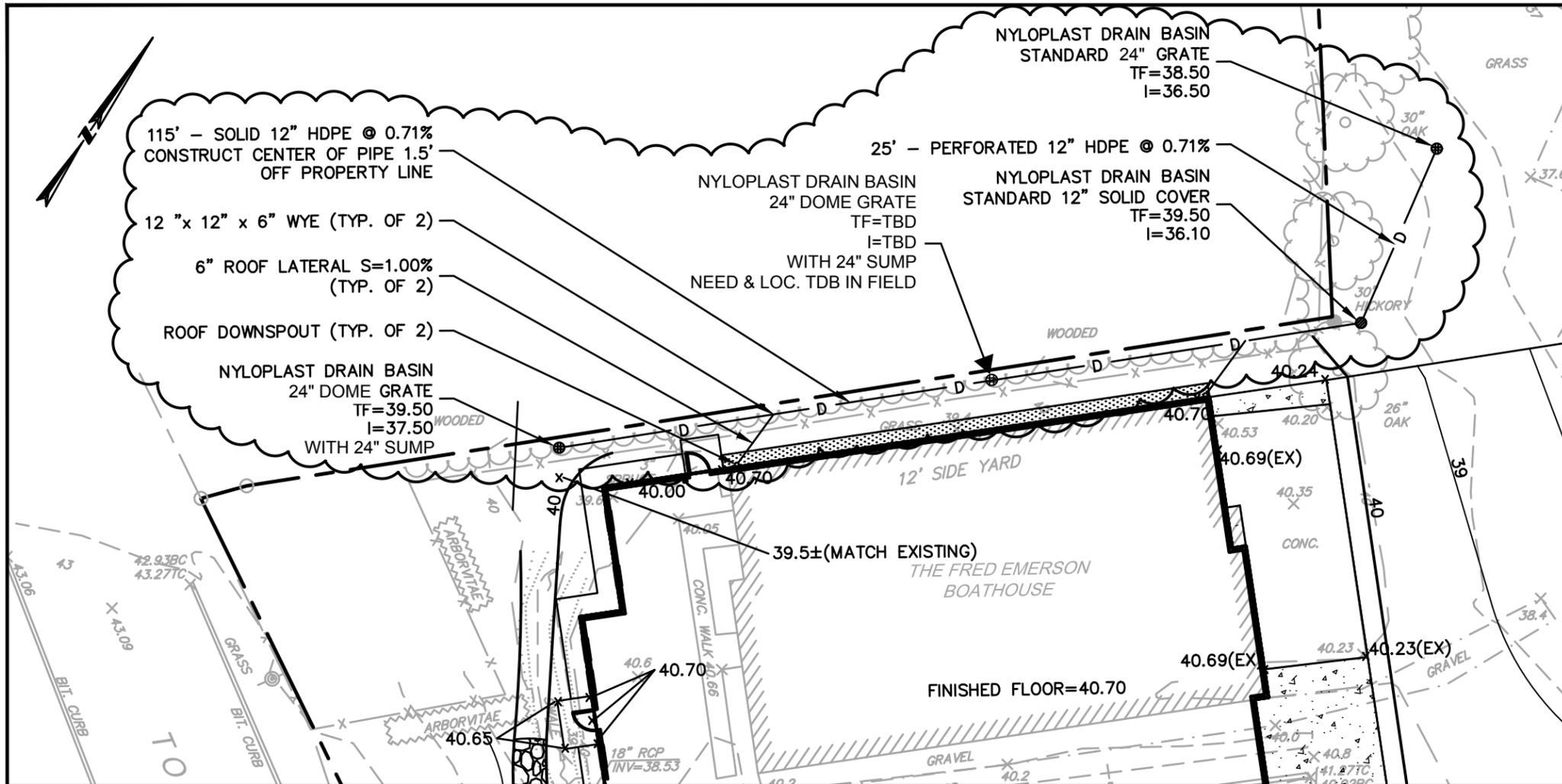
Let me know when you'd like to meet on site to review these items; early mornings or late afternoons are good for me.

Thanks,

Paul A. Gianquinto | Sr. Project Engineer | LEED® AP | **Gilbane Building Company**  
54 Meadow Street | New Haven, CT | 06519  
M: (860) 867-6666 | F: (203) 946-8920 | New Haven Schools Program  
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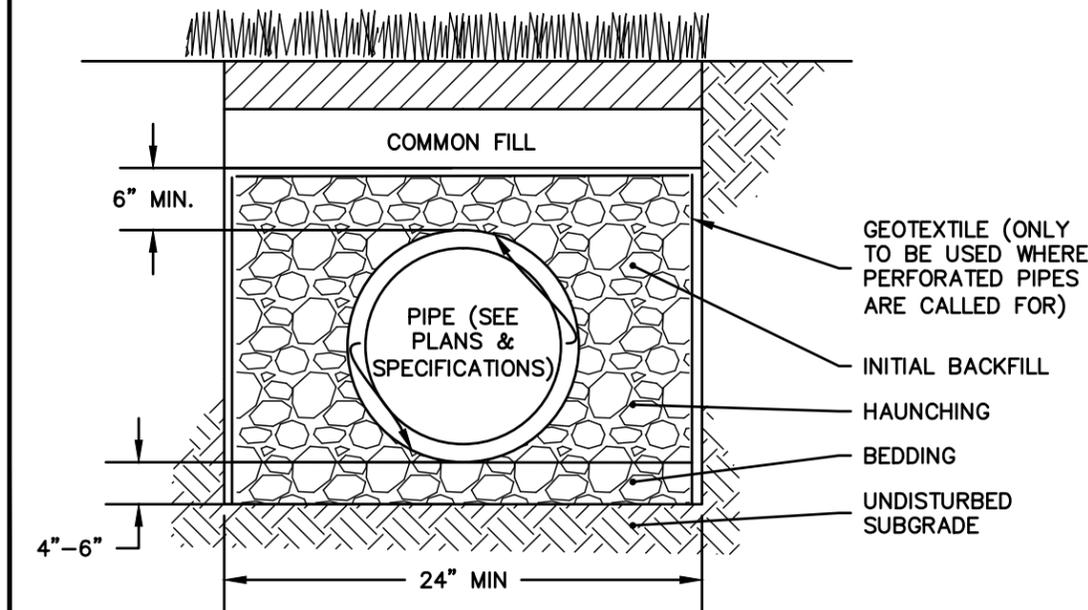


# BOATHOUSE IMPROVEMENTS

166 BOSTON POST ROAD

IN  
OLD LYME  
CONNECTICUT

## SITE PLAN



### TRENCH NOTES:

1. WHERE PERFORATED PIPES ARE CALLED-FOR, BEDDING, HAUNCHING, AND INITIAL BACKFILL SHALL BE CONNDOT NO. 6 CRUSHED STONE.
2. WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL PER THE SPECIFICATIONS. AS AN ALTERNATIVE, AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL UNDER SOME CIRCUMSTANCES.
3. BEDDING, HAUNCHING, AND INITIAL BACKFILL SHALL BE CONNDOT NO. 6, NO. 67, OR NO. 8 AGGREGATE OR OTHER MATERIALS MEETING THE REQUIREMENTS OF ASTM D2321 FOR CLASS IA, IB, II, OR III UNLESS OTHERWISE INDICATED BY THE PIPE MANUFACTURER.

### GENERAL NOTES:

1. STAKE OUT PROPERTY LINE ADJACENT NORTH SIDE OF BUILDING.
2. REMOVE FENCE ALONG PROPERTY LINE ADJACENT NORTH SIDE OF BUILDING.
3. CLEAR & GRUB TO PROPERTY LINE.
4. EXCAVATE NEW LOW POINT AT NORTHWEST CORNER OF BUILDING AT LOCATION OF NEW AREA DRAIN.
5. CONSTRUCT NEW AREA DRAINS AND PIPE AS SHOWN.

## TYPICAL TRENCH SECTION

SCALE: 1" = 20'



PREPARED FOR:

TOWN OF OLD LYME  
52 LYME STREET  
OLD LYME, CT 06371



300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227

Job No.: 83566.00 Date: 2017-07-20  
Scale: 1" = 20' Revised: PAG-BHPIC  
Dwg No: CSK-01 20 SEP 17  
File: